

City Planning Commission Meeting
Tuesday, July 28, 2015

CPC Deadline: 9/11/15
CC Deadline: 10/13/14
City Council District: C – Ramsey

PRELIMINARY STAFF REPORT

To: City Planning Commission

Prepared by: Nicolette P. Jones &
Cameron Bonnett

Zoning Docket: 063/15

Date: July 15, 2014

I. GENERAL INFORMATION:

Applicant: Alton Green

Request: This is a request for a conditional use to permit a bed and breakfast family home in an RD-3 Two-Family Residential District.

Location: The petitioned property is located on Square 414, Lots 8 & 9, in the Second Municipal District, bounded by Dumaine, North Salcedo, Saint Ann, and North Lopez Streets. The municipal address is 3046 Dumaine Street. The site is within the Esplanade Ridge Local Historic District. (PD 4)

Description: The subject parcel consists of two rectangular lots of record, Lots 8 and 9. Each lot measures twenty-nine (29') feet in width and one hundred (100) feet in depth. The parcel has a total area of five thousand eight hundred (5,800 sq. ft.) square feet. The parcel is developed with a three-bedroom, camel-back single-family residence which contains two thousand sixty-four (2,064 sq. ft.) square feet of floor area. The structure is primarily developed on Lot 8, while Lot 9 is primarily used as yard space. The applicant proposes to use the structure as a bed and breakfast family home, which would contain two (2) sleeping rooms for guests' use. The structure's remaining bedroom would be reserved for the owner's use. In addition to these bedrooms, the structure contains a kitchen, an office, three (3) restrooms, and a living and dining room. Most of the entire front yard is paved and appears to provide area for up to five (5) front yard off-street parking spaces.

Why is City Planning Commission action required?

Article 4, Section 4.6.5 of the Comprehensive Zoning Ordinance states that bed and breakfast family homes are conditional uses in the RD-3 Two-Family Residential District. The City Planning Commission is required to make a recommendation on all conditional use applications prior to City Council action, in accordance with **Article 16, Section 16.6.4 – Procedures for Conditional Use Permits** of the Comprehensive Zoning Ordinance.

II. ANALYSIS

A. What is the zoning of the surrounding areas? How are the surrounding areas used?

The petitioned site is located in a large RD-3 Two-Family Residential District in the Bayou St. John neighborhood of Mid-City. The neighborhood is located southwest of Bayou St. John and is bordered by the bayou to the north, Esplanade Avenue to the east, North Broad Street to the south, and St. Louis Street and the Lafitte Greenway to the west. The site is also located within the Esplanade Ridge Local Historic District.¹ The area surrounding the petitioned site is primarily residential in character and was developed in the late 19th and early 20th centuries. Much of the historic residential building stock remains. There is a prevalence of single-story or camel-back shotgun singles and doubles in the Classic Revival, Italianate, Eastlake, and Craftsman styles. The area is densely developed; residences are built closely together and close to the street, providing relatively narrow side yard widths and shallow front yard depths.

Though most of the area is residentially zoned, the properties at southern edge of the neighborhood along North Broad Street are zoned B-1 Neighborhood Business District. In this area, North Broad Street, or US Highway 90, converts from a six-lane thoroughfare to a four-lane thoroughfare in the eastern direction from Orleans Avenue. The properties along North Broad Street consist of a mix of land uses, some residential but mostly commercial land uses including retail stores, offices, some restaurants, automotive repair shops, laundry service shops, and barber shops and salons. There is also a cluster of six (6) squares at the northern boundary of the neighborhood that are zoned C-1 General Commercial District. Several of these commercially zoned parcels are developed with residential land uses, though two (2) large parcels, both with frontage along the bayou, are developed with a restaurant and a gas station, respectively. There is another cluster of squares along the newly constructed Lafitte Greenway at the southwestern edge of the neighborhood which are zoned LI Light Industrial District. These areas are developed with some light industrial uses such as warehouses, an automobile repair shop, as well as the City's sign manufacturing shop. Some of the industrially zoned parcels in this segment of the neighborhood between North Gayoso and North Salcedo Streets are developed with single-family or two-family residences similar in form and character to the rest of the residentially developed areas of the neighborhood. With the adoption of the new Comprehensive Zoning Ordinance, most of the light industrial zoning districts along the Lafitte Corridor have been rezoned HU-MU Historic Urban Mixed Use District to encourage more mixed-use development within the greenway corridor.

B. What is the zoning and land use history of the site?

Zoning

1929 – 'E' Commercial District

1953 – 'E' Neighborhood Shopping District

1970 – RD-3 Two-Family Residential District

¹ However, it is located within a partial control portion of the district.

Current – RD-3 Two-Family Residential District

Land Use

1929 – Single-family residence

1949 – Single-family residence

1999 – Residential – single/two family

C. Have there been any recent zoning changes or conditional uses in the area? If so, do these changes indicate any particular pattern or trend?

In the past five (5) years, there has been the following zoning action for properties located within a 1,750 foot radius (the equivalent of approximately five blocks) of the site:

Zoning Docket 055/14 was a request for a zoning change from an RD-3 Two Family Residential District to a B-1A Neighborhood Business District. The municipal address is 3201 Toulouse Street. The City Planning Commission recommended approval of the request. The City Council subsequently approved the request as recommended.

The abovementioned request involved a historic two-story, mixed-use corner property which was residentially-zoned and had lost its legal non-conforming status to operate a ground floor commercial unit. The request was approved based upon the historical use of the property as neighborhood commercial. This request does not reflect a trend unique to the Bayou St. John neighborhood, but rather, demonstrates a broader trend in the city's historic areas where it was once common for primarily residential neighborhoods to be dotted with neighborhood-oriented commercial uses such as corner groceries. The Commission has recommended approval of similar zoning change requests involving historic corner store properties. The surrounding neighborhood contains a handful of corner properties zoned B-1 or B-1A District. One such property is located across Dumaine Street from the petitioned site.

D. What are the comments from the design review staff?

The subject parcel consists of two rectangular lots of record, Lots 8 and 9. Each lot measures twenty-nine (29') feet in width and one hundred (100) feet in depth. The parcel has a total area of five thousand eight hundred (5,800 sq. ft.) square feet. The lot is developed with a camel-back single-family residence totaling 2,064 square feet in floor area. The residence provides a front yard setback of approximately thirty-three (33') feet. The side yard setbacks are approximately five (5') feet from the North Lopez Street side lot line and thirty-three (33') feet from the North Salcedo Street side lot line. The structure is set close to the rear Saint Ann Street property line, providing a rear yard depth of approximately one (1') foot.²

² The applicant applied for a structural building permit for termite repair to the single-family dwelling (Permit No. 13-1335-RNVS). It appears that the applicant has exceeded the scope of work since the permit's issuance, having built an addition to the rear of the structure and having demolished a previously existing side addition.

The applicant proposes to use the residence as a bed and breakfast family home with services for two (2) guest rooms. The two (2) guest rooms on the first floor (including their closet spaces) would constitute approximately nineteen (19.13%) percent of the residence's entire floor area. With the addition of their bathrooms, the two (2) guest rooms would constitute approximately twenty-six (26.67%) percent of the residence's entire floor area. The remainder of the first floor has an open floor plan that includes a kitchen, an eating area and a living-room. The second floor of the structure consists of a master bedroom, a master bathroom, an office, and loft spaces.

The main structure is primarily constructed upon Lot 8, though a portion of the structure is developed on Lot 9. The following proviso is recommended so that the development is compliant with the requirements of the City's building code:

- The applicant shall consolidate the lots associated with the site into a single lot of record through the City Planning Commission. The approved subdivision shall be recorded with the Office of Conveyances prior to the issuance of a Certificate of Occupancy by the Department of Safety and Permits.

Definitional standards

The proposed bed and breakfast must conform to the definition of a bed and breakfast pursuant to **Article 2, Section 2.2** of the Comprehensive Zoning Ordinance (CZO). While the structural component of the definition is satisfied, the definition also requires such facilities to be owner-occupied. The owner-occupant must provide a homestead exemption. The following proviso is necessary to ensure compliance with that requirement:

- The bed and breakfast home shall be owner-occupied for the life of the use. Proof of owner-occupancy shall be demonstrated by the submission of a homestead exemption for the review and approval by the City Planning Commission staff.

Supplemental use standards

The bed and breakfast family home is subject to the supplemental use standards contained in **Article 11, Section 11.6** of the CZO. Those standards are listed below in italics with the staff's comments in normal text.

- a. No new bed and breakfast facility shall be permitted within the block frontage (including both sides) between two (2) intersecting streets of an existing bed and breakfast facility;*

This standard is met as there are no other bed and breakfast facilities on either side of this block of Dumaine Street.

- b. Facility operators shall comply with the regulations of the Department of Safety and Permits and the Department of Finance, Bureau of Revenue;*

To ensure that the proposed bed and breakfast meets this requirement, it should be subject to the following proviso:

- The operator shall comply with the regulations of the Department of Safety and Permits and the Department of Finance, Bureau of Revenue.
- c. Facilities may provide continental breakfast service only, with foods purchased from a licensed food seller (caterer or bakery) and served "as is" or only warmed at the bed and breakfast facility;*

To ensure that the proposed bed and breakfast meets this requirement, it should be subject to the following proviso:

- Food shall not be cooked for guests on site, but only purchased from a licensed food seller (caterer or bakery) and served “as is” or warmed at the facility.
- d. No cooking facilities are permitted in individual guest accommodations;*

This standard is met, as no separate cooking facilities are proposed for the guest rooms. The residence has (1) one shared kitchen on the first floor of the structure.

- e. Leasing of common dining area(s) for social events is prohibited;*

To ensure the proposed bed and breakfast meets this requirement, it should be subject to the following proviso:

- Lease of common areas for social events is prohibited.

- f. Exterior signage permitted only in accordance with district regulations;*

Signage has not been proposed by the applicant, but should the applicant decide to add signage, the applicant will be required to submit plans for review by both the Historic District Landmarks Commission (HDLC) and CPC staff. Therefore, the staff recommends:

- Any proposed signage shall conform to **Article 4, Section 4.6.6 – Permitted Signs** of the Comprehensive Zoning Ordinance, subject to the review of the Historic District Landmarks Commission and City Planning Commission staff.
- g. Off-street parking must be provided in accordance with Section 15.2 of the Comprehensive Zoning Ordinance;*

Off-street parking is discussed in Section E.

h. A percentage limitation on the floor area of a bed and breakfast use shall be, for one (1)/two (2) room bed and breakfast use, fifteen (15) percent of the floor area for the bed and breakfast use;

This standard is not met since the two (2) guest rooms would constitute nineteen (19.13%) percent of the residence's entire floor area. Thus, having two (2) guest rooms available for bed and breakfast services would conflict with the square footage limitation set forth **Article 11, Section 11.6.1(h)**. The following proviso is necessary to ensure compliance with that requirement:

- The applicant shall only be permitted to use one (1) of guest bedroom on the first floor for bed and breakfast services.

Trash storage and litter abatement

Trash storage has not been indicated on the site plans. The applicant should provide the CPC staff with a litter abatement letter to address concerns of trash storage and site maintenance. The following provisos are recommended:

- The applicant shall provide a litter abatement program letter, approved by the Department of Sanitation, describing the location of trash storage, the frequency of trash pickup by the City, and the clearing of all litter from the sidewalks and street right-of-way. The program description, including name and phone number of the owner/operator of the facility, shall be kept on file in case of any violation.
- The applicant shall indicate on the site plan the location of secure trash storage. In no case shall trash be stored so that it is visible from the public right-of-way.

Landscaping

Currently, the property provides minimal landscaping in the front of the residence. Most of the required front yard area is paved with concrete and has been used for the provision of approximately five (5) parking spaces for over a decade.³ Further, no curb or green strip exists to separate the sidewalk from the public street causing the area in front of the parcel to act as one large driveway. Per **Article 15, Section 15.2.3**, parking is not permitted in the front yard area, which is the area between the façade of the structure and the front property line. Also, per **Article 15, Section 15.6.6**, the amount of paved area permitted in a required front yard is limited to forty (40%) percent of the total front yard area. Excessive front yard paving and front yard parking areas are not common development features of the Esplanade Ridge District and detract from the curb appeal of the neighborhood. Furthermore, excessive paving puts stress on drainage infrastructure which can lead to back-flooding. The staff believes there is sufficient area available within the site to provide the two (2) required off-street parking spaces in a permitted location. There are two (2) paving strips along the side of the residence where a

³ Verified with historical aerial photography.

construction dumpster is currently placed. This space, because it is behind the façade of the structure, would encompass a permitted off-street parking space. The applicant could also remove some of the excessive paving in order to comply with the pavement limitation of **Section 15.6.6** and still provide a driveway for off-street parking. The staff, therefore, recommends the following proviso:

- The applicant shall provide updated site plans indicating removal of all front yard parking and the removal of excessive pavement in the required front yard area. These revised plans shall demonstrate compliance with the standards of **Article 15, Section 15.2.3 – Parking in the Front Yard** and **Article 15, Section 15.6.6 – Limitation on Pavement** of the Comprehensive Zoning Ordinance. The applicant shall secure the approval of the Department of Public Works for any improvements to the adjacent public right-of-way, including sidewalks, curbing, and curb cuts.

The granting of a Conditional Use to permit bed and breakfast family home use would allow a quasi-commercial use to be located within a residential zoning district. Therefore, its street-facing areas should be designed in a way that maximizes compatibility with surrounding residential uses. This can be done by restricting signage, as described previously, and by planting street trees to soften the site’s appearance on the Dumaine Street public right-of-way. The staff recommends the following proviso to achieve such compatibility:

- The applicant shall restore a green strip and plant two (2) trees within the public right-of-way, adjacent to the site, subject to the review and approval of the Department of Parks and Parkways. The site plan shall be revised to indicate the type and location of each tree.

E. What is the potential traffic impact? What are the off-street parking and off-street loading requirements? Can the required number of off-street parking spaces be provided on site, or would a waiver be required?

Traffic

The subject site fronts Dumaine Street within the Bayou St. John neighborhood. Dumaine Street is a local street with a single one-way lane running in the northwestern direction. The street has on-street parking options on both sides. Most streets within the neighborhood consist of local one-way streets running in different directions with small traffic volumes. These narrow streets primarily carry vehicles traveling within the interior of the neighborhood. The site is located five (5) blocks from North Broad Street. North Broad Street is classified as a major arterial in the New Orleans Major Street Plan; it is also a US highway, US Highway 90. North Broad Street carries larger traffic volumes in the east/west direction and provides cross-town and inter-neighborhood connections. The neighborhood also contains two (2) minor arterials running in the north/south directions: Orleans Avenue and Esplanade Avenue. These minor arterials provide connections between the city core and Lake Pontchartrain. They are also both stripped with a bike

lane and allow for alternative transportation. The subject site is located two (2) blocks from Orleans Avenue and five (5) blocks from Esplanade Avenue.

The use of the site as a bed and breakfast family home would have minimal impact on this surrounding street system. As the use is only permitted one (1) guest room, it could accommodate few guests at one time. The level of vehicular traffic associated with the use of the site as a bed and breakfast would be no greater than those associated with surrounding single-family and two-family residences.

Parking

Pursuant to **Article 15, Section 15.2.1 (Table 15.A)** of the Comprehensive Zoning Ordinance, bed and breakfast family homes are required to provide one (1) off-street parking space for every two (2) guest rooms. As the proposed bed and breakfast home is allowed one (1) guest room, one (1) off-street parking space is required. One (1) additional off-street parking space is required for the owner's use of the site as a single-family residence, bringing the total parking requirement to two (2) spaces. There are currently five (5) parking spaces provided in the required front yard. Pursuant to **Article 15, Section 15.2.3**, front yard parking is prohibited.⁴ It is possible for the applicant to provide two (2) parking spaces within a permitted location on the site.

F. Are there any comments from other agencies, departments or committees?

The request was considered by the Planning Advisory Committee at its meeting on July 8, 2015. There was discussion about the existing non-conforming site conditions including the excessive pavement of the front yard, the existence of front yard parking, and the excessive width of the driveway. Related to this discussion, the Department of Public Works stated their need for further review of the existing driveway on site. The Department of Parks and Parkways also stated that it would be desirable to restore the green strip adjacent to the sidewalk in front of the site and for street trees to be planted within the Dumaine Street public right-of-way.

The HDLC commented that since the property was located in a partial control district, the applicant would need to obtain a Certificate of Review for exterior work. The committee passed a motion of no objection to the request subject to further review by the City Planning Commission, the Department of Parks and Parkways, and the Department of Public Works, and the Historic District Landmarks Commission.

G. What effects or impacts would the proposed conditional use have on adjacent properties?

The proposed bed and breakfast family home is expected to be minimally impactful on the surrounding neighborhood. Since, per the Comprehensive Zoning Ordinance, the property is only allowed one (1) guest room, the number of occupants the home could

⁴ These five (5) spaces are considered legal non-conformities by the Department of Safety and Permits as their construction occurred over ten years ago, exceeding the City's prescription period.

have at any one time as a bed and breakfast would be comparable to the number of occupants in a two-family residence, a prevalent use within the neighborhood. Levels of overall activity, noise, traffic, and demand for parking generated by the bed and breakfast should also be comparable. Furthermore, the structure, through provisos, can be made to be compliant with all applicable regulations contained within the Comprehensive Zoning Ordinance. For these reasons, the staff finds that the use of the structure as a bed and breakfast family home should have no significant negative impacts on surrounding properties and is supportive of the request.

III. Is the proposed action supported by or in conflict with the policies and strategies of the *Plan for the 21st Century: New Orleans 2030*?

If amended per staff's recommended provisos, the request for a conditional use to permit a bed and breakfast family home is **consistent with** the *Plan for the 21st Century*, commonly known as the Master Plan. "Chapter 14: Land Use Plan" of the Master Plan designates the future land use of the petitioned site as Residential Low Density Pre-War. The goal, range of uses and development character for the designation mentioned above are provided below:

RESIDENTIAL LOW DENSITY PRE WAR

Goal: Preserve the scale and character of pre-war (WWII) residential neighborhoods of lower density where the predominant use is single and two-family residential and allow for compatible infill development. Discourage the development of additional multifamily housing that is out of scale with existing character.

Range of Uses: New development generally limited to single or two-family dwellings, and preservation of existing multifamily buildings. Businesses and traditional corner stores may be allowed where current or former commercial use is verified. Supporting public recreational and community facilities (e.g., schools and places of worship) also allowed. Conversion to multifamily may be allowed for certain existing historical institutional, commercial or other non-residential uses.

Development Character: New development will fit with the character and scale of surrounding residential neighborhoods where structures are typically located on smaller lots and have minimal front and side setbacks. There is a maximum density of 24 units per acre.

The proposed bed and breakfast home fits within the range of uses of the Residential Low Density Pre-War category in that it is primarily a single family residence. The site is currently owner occupied and can be maintained to blend in with the character of the surrounding neighborhood.

IV. SUMMARY

Zoning Docket 063/15 is an application for a conditional use to permit a camel-back single-family residence to be used as a bed and breakfast family home containing two (2) guest rooms. Because the proposed floor area designated for the two (2) guest rooms would exceed fifteen (15%) percent of the total floor area of the residence, only one (1) guest room would be permitted per the supplementary use standards for bed and breakfast family homes. The proposal, if modified to include only one (1) guest room, meets all other applicable supplemental use standards contained with the zoning ordinance or can be made to meet those standards through the imposition of provisos. Further, due to its small size, the bed and breakfast should not be any more impactful on surrounding properties in terms of activity, noise, traffic, and demand for parking than it is currently as a two-family residence. For these reasons, the staff supports the request with provisos.

V. PRELIMINARY STAFF RECOMMENDATION⁵

The staff recommends **approval** of Zoning Docket 063/15, a request for a conditional use to permit a bed and breakfast family home in an RD-3 Two-Family Residential District, subject to the following twelve (12) provisos:

Provisos

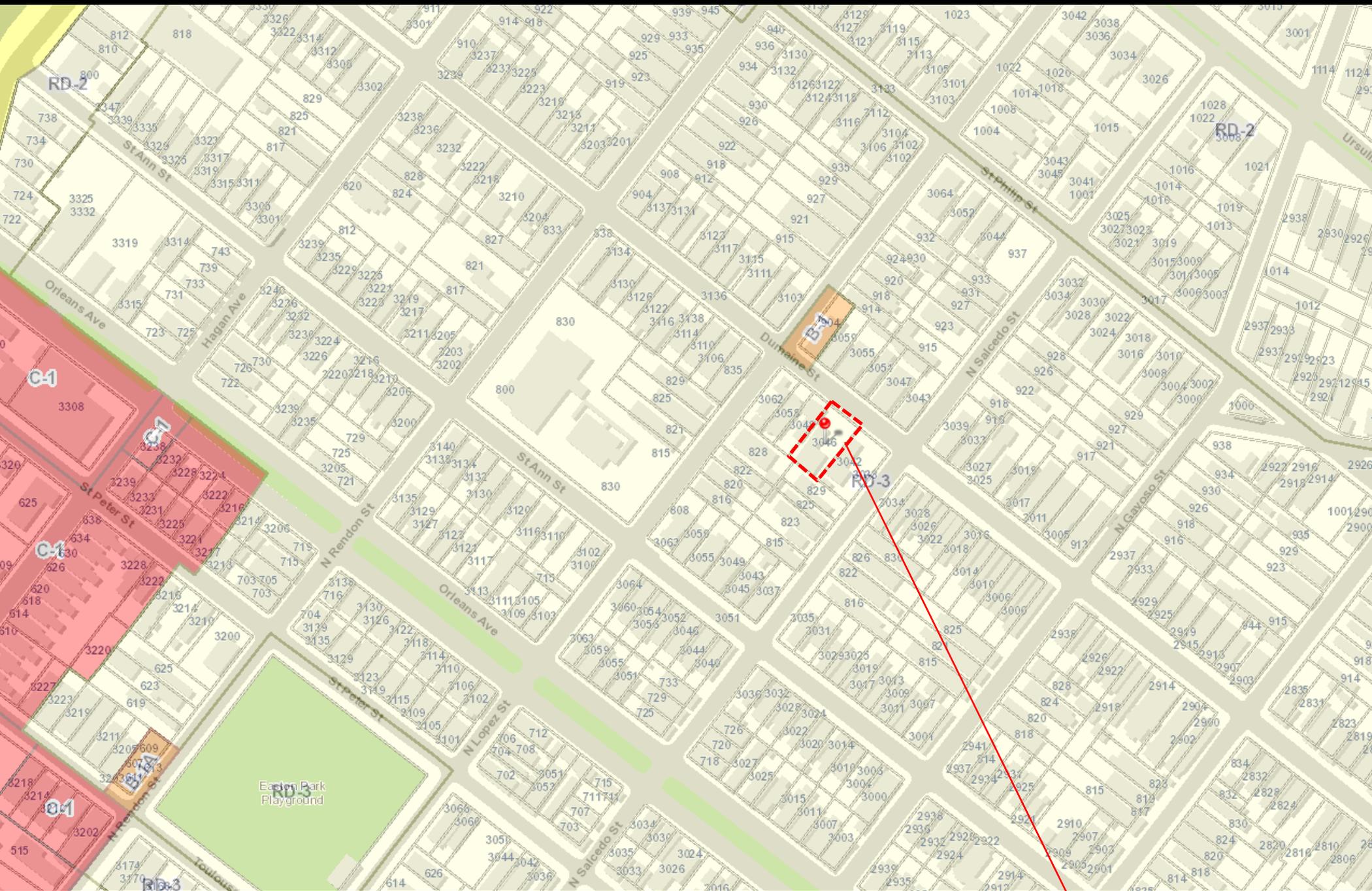
1. The Department of Safety and Permits shall issue no building permits or licenses for this project until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete the conditional use process by properly recording plans within a one year time period or failure to request an administrative extension as provided for in **Article 16, Section 16.9.11** of the Comprehensive Zoning Ordinance will void the conditional use approval.
2. The applicant shall consolidate the lots associated with the site into a single lot of record through the City Planning Commission. The approved subdivision shall be recorded with the Office of Conveyances prior to the issuance of a Certificate of Occupancy by the Department of Safety and Permits.
3. The bed and breakfast home shall be owner-occupied for the life of the use. Proof of owner-occupancy shall be demonstrated by the submission of a homestead exception for the review and approval of the City Planning Commission staff.
4. The operator shall comply with the regulations of the Department of Safety and Permits and the Department of Finance, Bureau of Revenue.
5. Food shall not be cooked for guests on site, but only purchased from a licensed food seller (caterer or bakery) and served “as is” or warmed at the facility.
6. Lease of common areas for social events is prohibited.

⁵ The recommendation is subject to change by the City Planning Commission

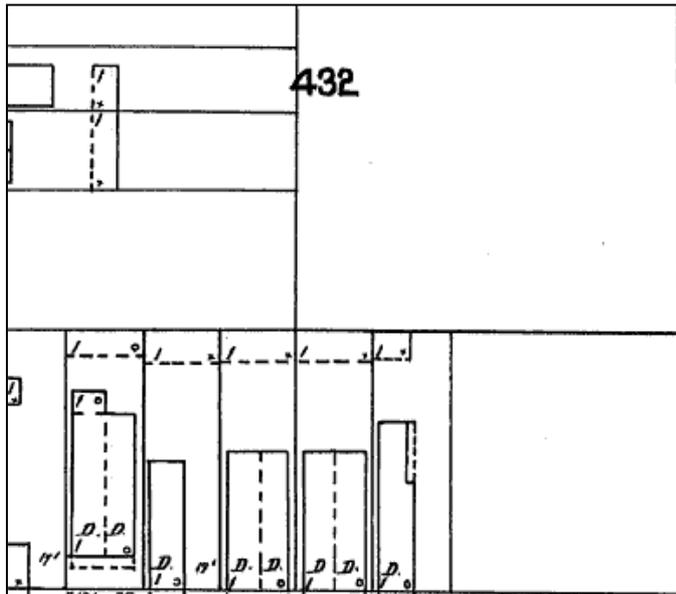
7. Any proposed signage shall conform to **Article 4, Section 4.6.6 – Permitted Signs** of the Comprehensive Zoning Ordinance, subject to the review of the Historic District Landmarks Commission and City Planning Commission staff.
8. The applicant shall only be permitted to use one (1) of guest bedroom on the first floor for bed and breakfast services.
9. The applicant shall provide a litter abatement program letter, approved by the Department of Sanitation, describing of the location of trash storage, the frequency of trash pickup by the City, and the clearing of all litter from the sidewalks and street right-of-way. The program description, including name and phone number of the owner/operator of the facility, shall be kept on file in case of any violation.
10. The applicant shall indicate on the site plan the location of secure trash storage. In no case shall trash be stored so that it is visible from the public right-of-way.
11. The applicant shall provide updated site plans indicating removal of all front yard parking and the removal of excessive pavement in the required front yard area. These revised plans shall demonstrate compliance with the standards of **Article 15, Section 15.2.3 – Parking in the Front Yard** and **Article 15, Section 15.6.6 – Limitation on Pavement** of the Comprehensive Zoning Ordinance. The applicant shall secure the approval of the Department of Public Works for any improvements to the adjacent public right-of-way, including sidewalks, curbing, and curb cuts.
12. The applicant shall restore a green strip and plant two (2) trees within the public right-of-way, adjacent to the site, subject to the review and approval of the Department of Parks and Parkways. The site plan shall be revised to indicate the type and location of each tree.

VI. REASONS FOR RECOMMENDATION

1. The proposed bed and breakfast family home would be low in intensity and should not generate levels of activity, noise, traffic, and demand for parking which would have a significant negative impact on surrounding properties.
2. The proposal is consistent with the *Plan for the 21st Century*.

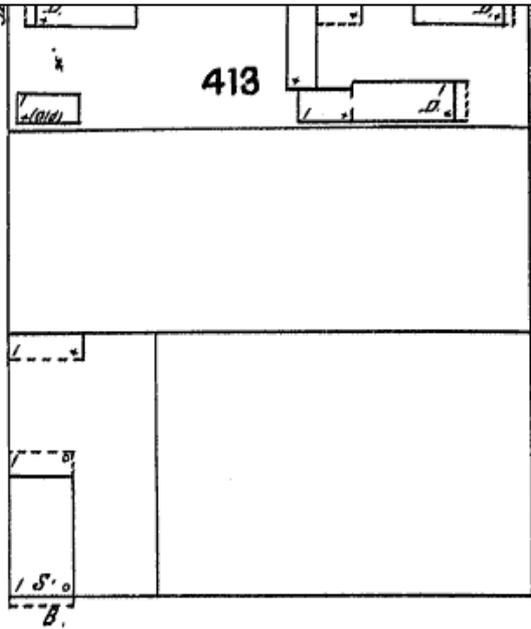


Zoning Docket 063/15



DUMAIN

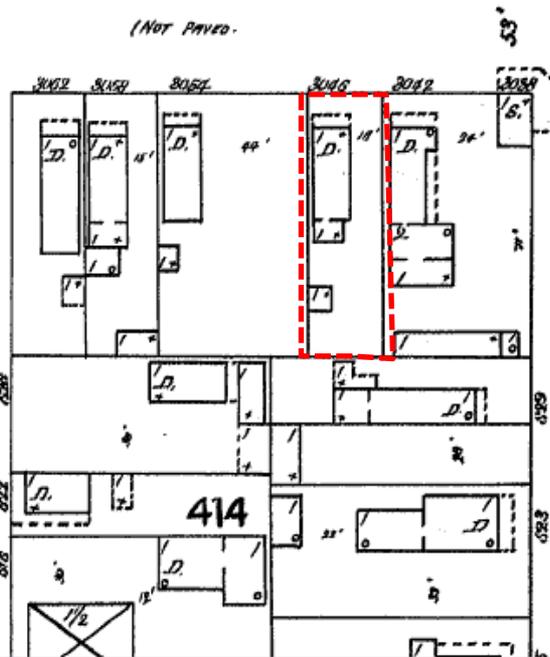
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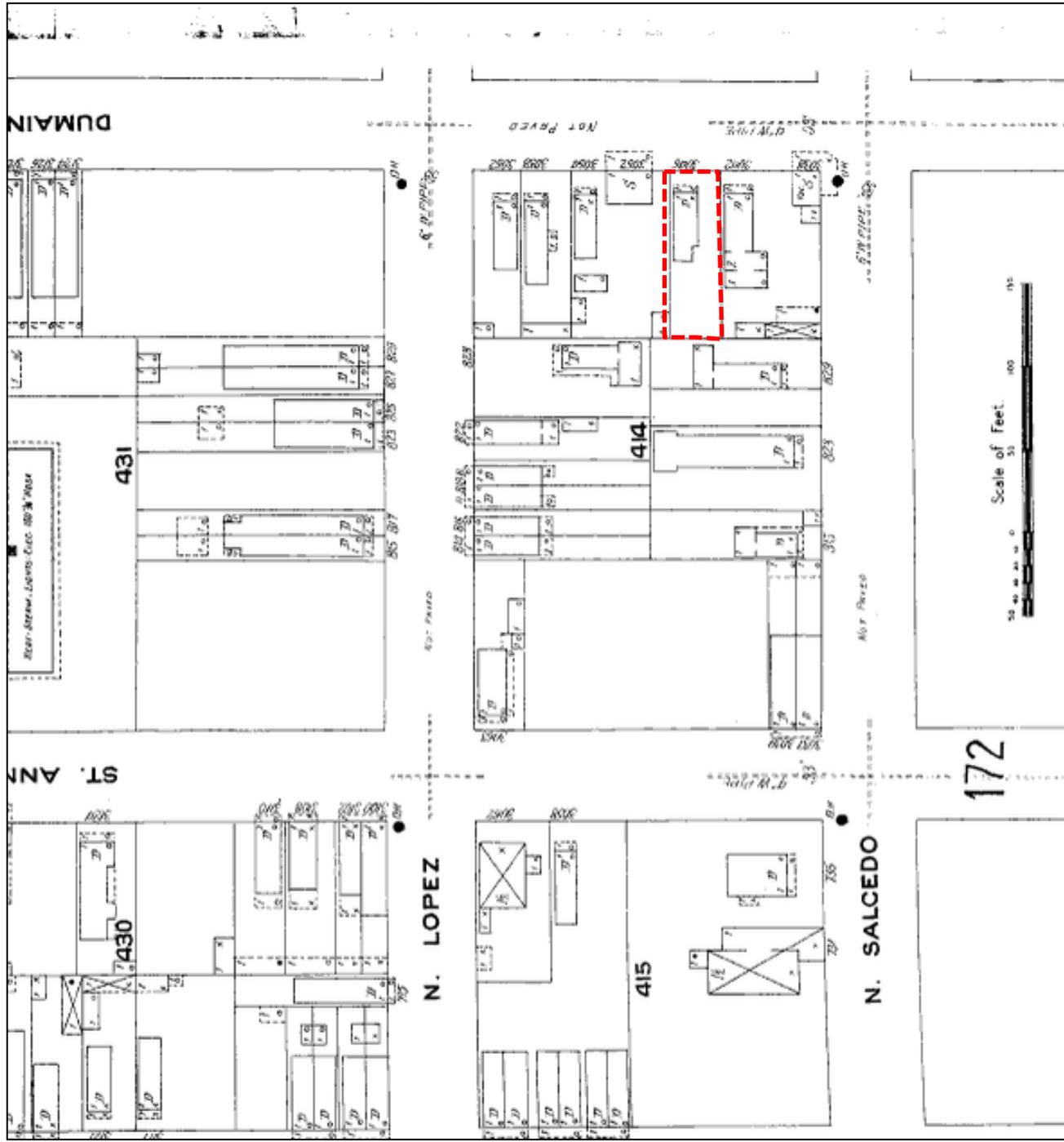
N. LOPEZ

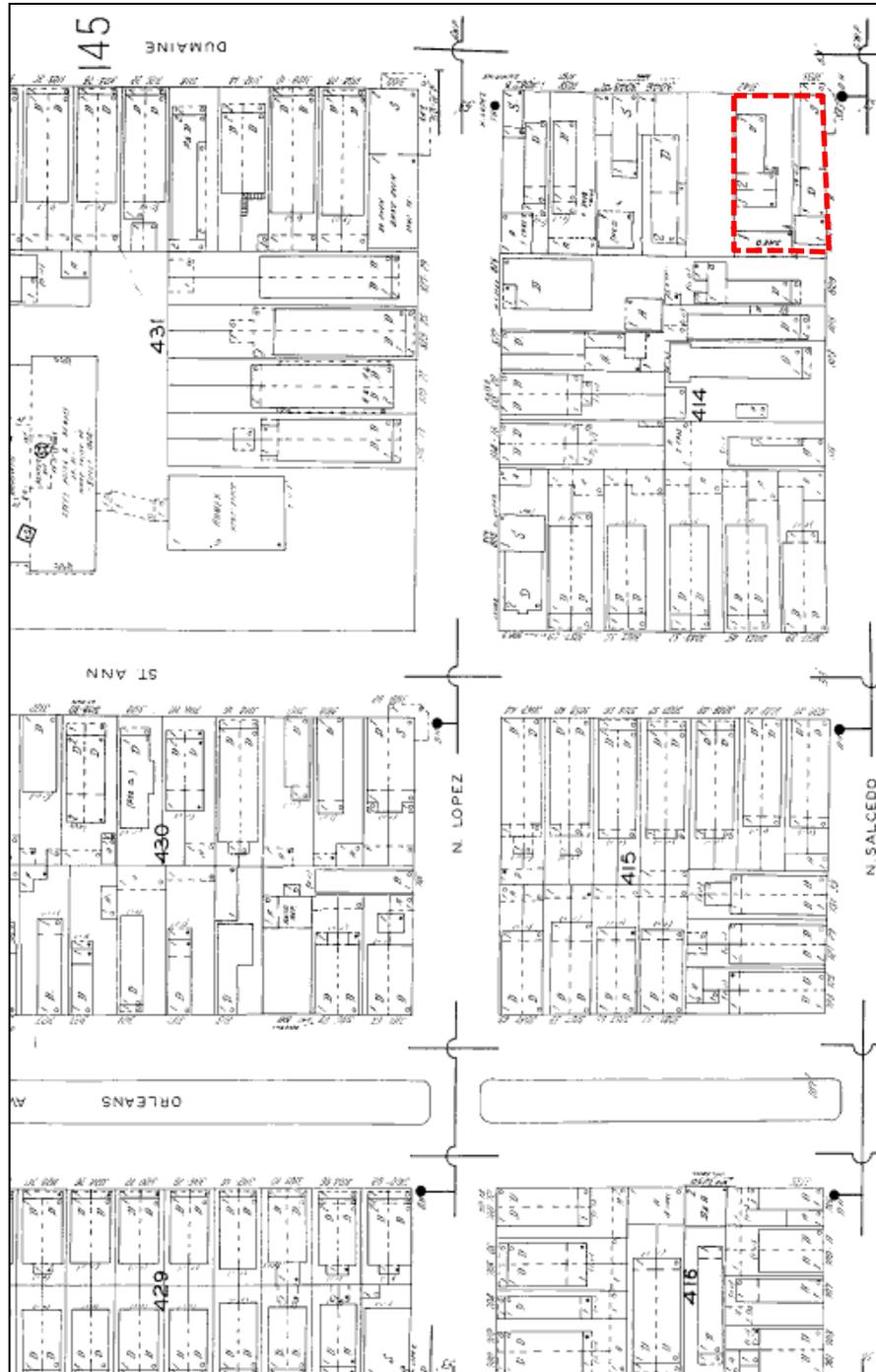


N. SALCEDO
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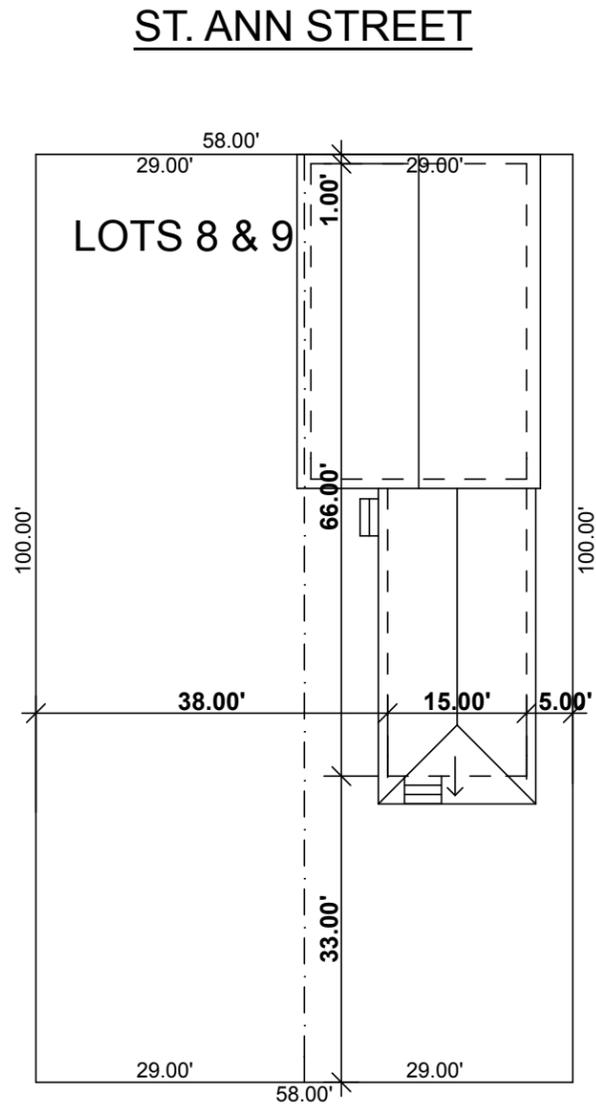
431

414





N. SALCEDO STREET



DUMAINE STREET

N. LOPEZ STREET

SITE PLAN: 1"=20'-0"

LOTS 8 & 9, SQ. 414,
DUMAINE, N.O.,
ORLEANS PARISH, LA.

SITE NOTES:

1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.

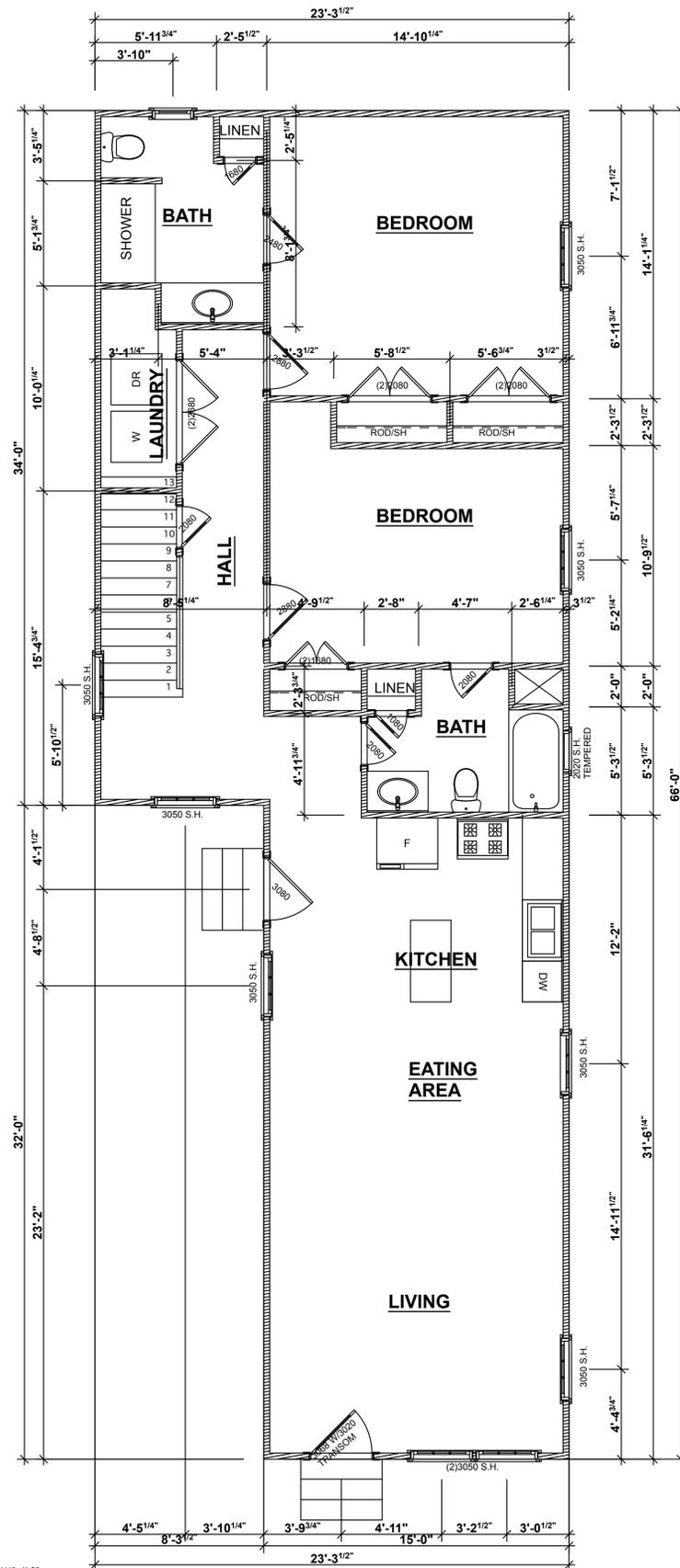
NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PREFORMED FOR THIS PROJECT.

ENGINEERING BY:
**David R. O'Reilly Engineering
Consultants LLC**
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010 Lic# 34032

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commencement of construction.

NOLA I RISE LLC. 3046 DUMAINE STREET N.O. 70119		INT./ DATE:
LOTS 8 & 9, SQ. 414, DUMAINE, N.O., ORLEANS PARISH, LA.		
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308		
600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconsinc.com		



FIRST FLOOR PLAN: 1/4"=1'-0"
BASE CLG HGT. 10'-6"

AREAS

LIVING DOWN	1272
LIVING UP	792
TOTAL	2064

NOTES:

1. ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
2. VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
3. ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
4. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
6. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
7. CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
8. CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
9. CAULKING ON EXTERIOR SHALL BE THICKAL CAULK.
10. PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
11. PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN BUILDING.
12. ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
13. USE 6" STUDS AT ALL PLUMBING WALLS.
14. GRANITE TOPS W/ 4" SPLASH IN KITCHEN.
15. SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS.
16. NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
17. A/C MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.
18. W.H. MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM.
19. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
20. EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
21. WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH 20". PER R310.1, IRC 2012.
22. EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2012.
23. ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
24. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2012.
25. PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
26. ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
27. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.
28. ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
29. FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.
30. DEPTH OF NOTCHES AT ENDS OF FLOOR JOISTS NOT TO EXCEED 1/4" DEPTH.
31. BRIDGING REQ'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.
32. DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS.
33. FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING.
34. ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURERS SPECIFICATIONS.
35. ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
36. WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
37. REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
38. HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS SHALL COMPLY W/ IRC 2012.
39. THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH IRC 2012.
40. ALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2012 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
41. EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2012.
42. UNDER STAIR PROTECTION (ENCLOSED ACCESS. SPACE UNDER STAIRS IN ACCORDANCE WITH R311.22. IRC 2012.
43. OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED W/ 1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.
44. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.
45. A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN. FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (390 SQ. IN. REQ'D. FOR GARAGE 1)
46. VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

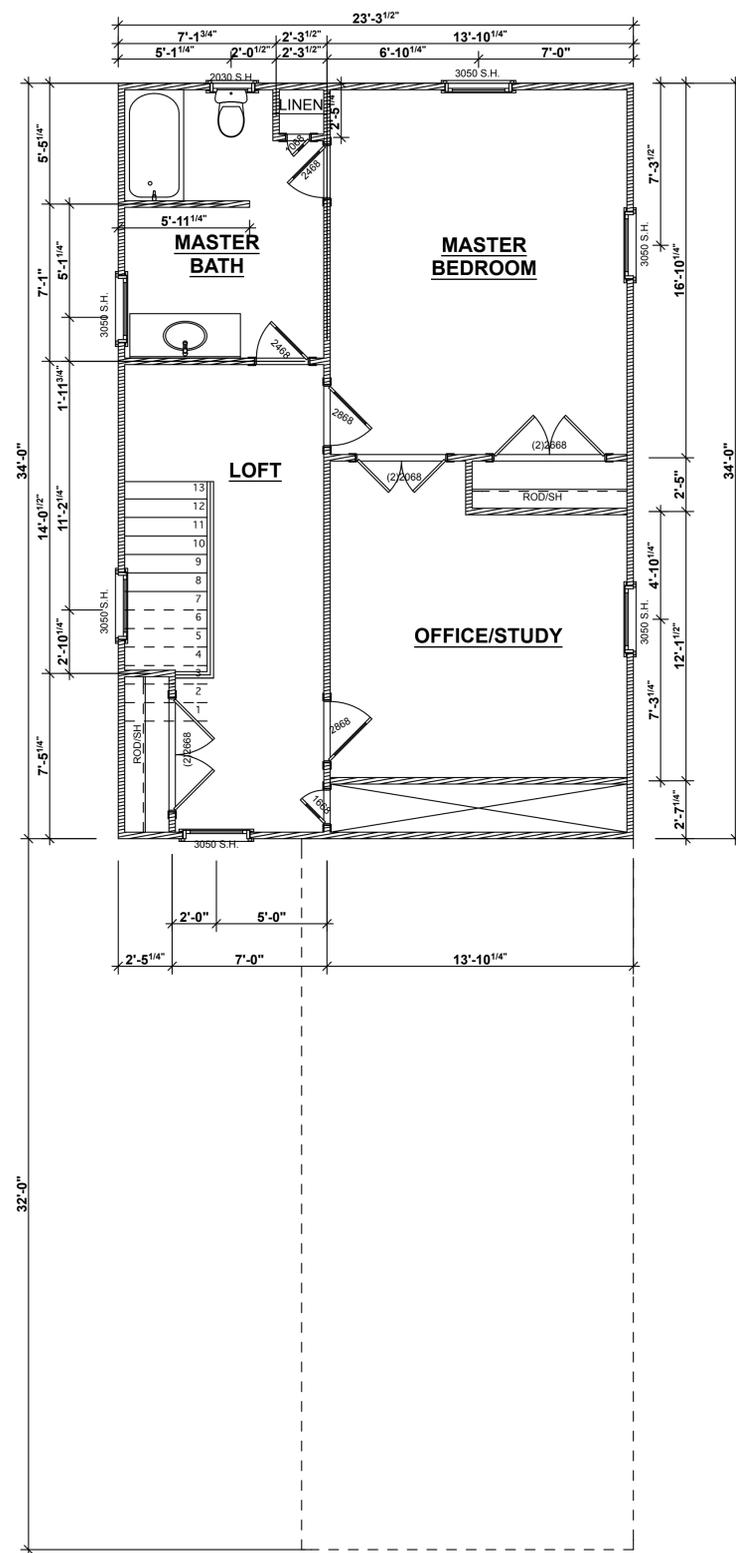
David R. O'Reilly LIN. NO. 34032

ENGINEERING BY:
David R. O'Reilly Engineering Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
Lic# 34032

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NOLA I RISE LLC. 3046 DUMAINE STREET N.O. 70119 LOTS 8 & 9, SQ. 414, DUMAINE, N.O., ORLEANS PARISH, LA.	INT./ DATE: KTC:04/29/15
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETN, LOUISIANA 70053 desconss@bellsouth.net / desconinc.com	A-2



SECOND FLOOR PLAN: 1/4"=1'-0"
OWNERS SUITE

BASE CLG HGT. 8'-0"

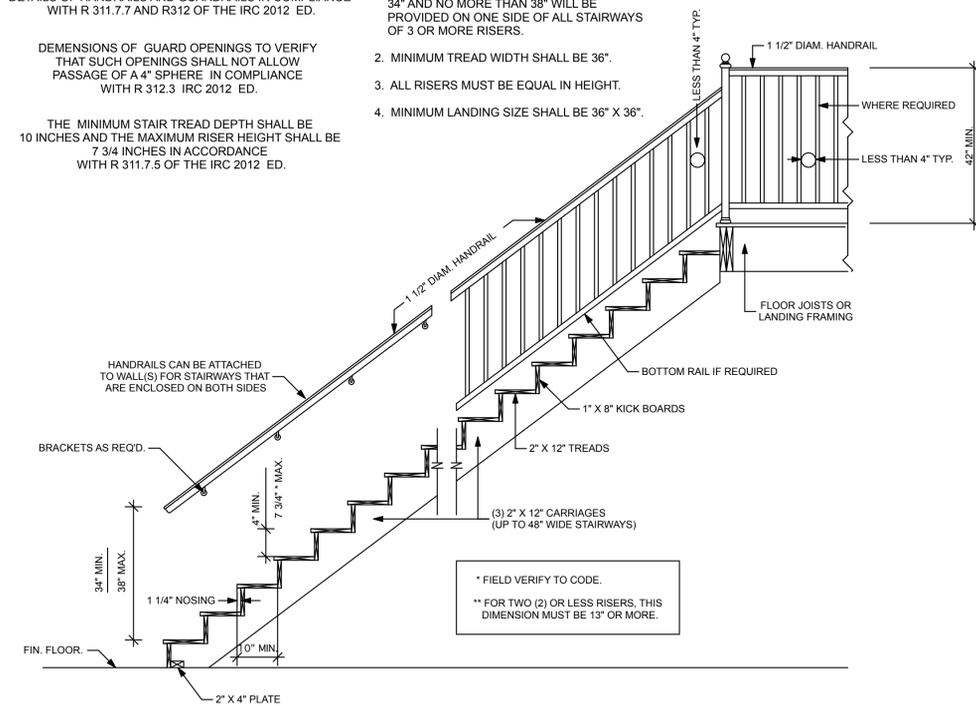
DETAILS OF HANDRAILS AND GUARDRAILS IN COMPLIANCE WITH R 311.7.7 AND R312 OF THE IRC 2012 ED.

DIMENSIONS OF GUARD OPENINGS TO VERIFY THAT SUCH OPENINGS SHALL NOT ALLOW PASSAGE OF A 4" SPHERE IN COMPLIANCE WITH R 312.3 IRC.2012 ED.

THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES AND THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES IN ACCORDANCE WITH R 311.7.5 OF THE IRC 2012 ED.

STAIRWAY NOTES

- HANDRAILS WITH HEIGHTS NO LESS THAN 34" AND NO MORE THAN 38" WILL BE PROVIDED ON ONE SIDE OF ALL STAIRWAYS OF 3 OR MORE RISERS.
- MINIMUM TREAD WIDTH SHALL BE 36".
- ALL RISERS MUST BE EQUAL IN HEIGHT.
- MINIMUM LANDING SIZE SHALL BE 36" X 36".



TYPICAL STAIR DETAIL
 IN ACCORDANCE WITH R 311.5, IRC 2012
 (NOT TO SCALE)

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

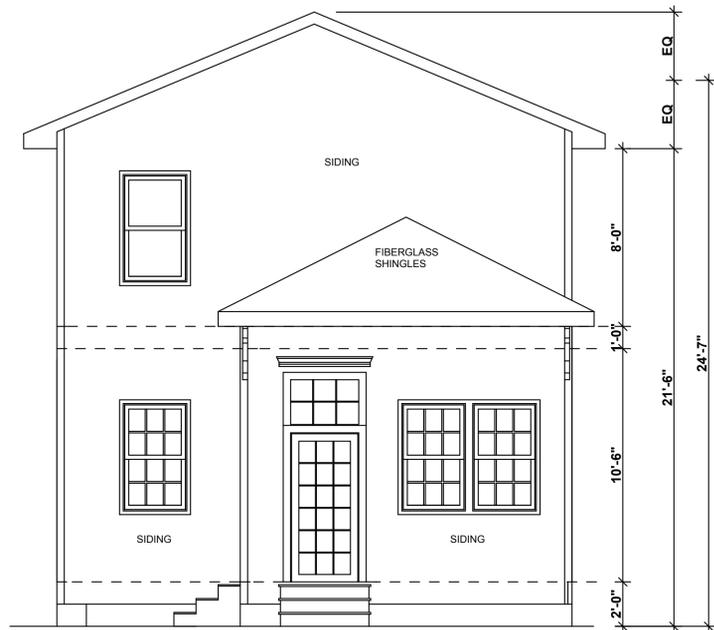
David R. O'Reilly LIN. NO. 34032

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David R. O'Reilly Engineering Consultants LLC
 518 South Rampart Street
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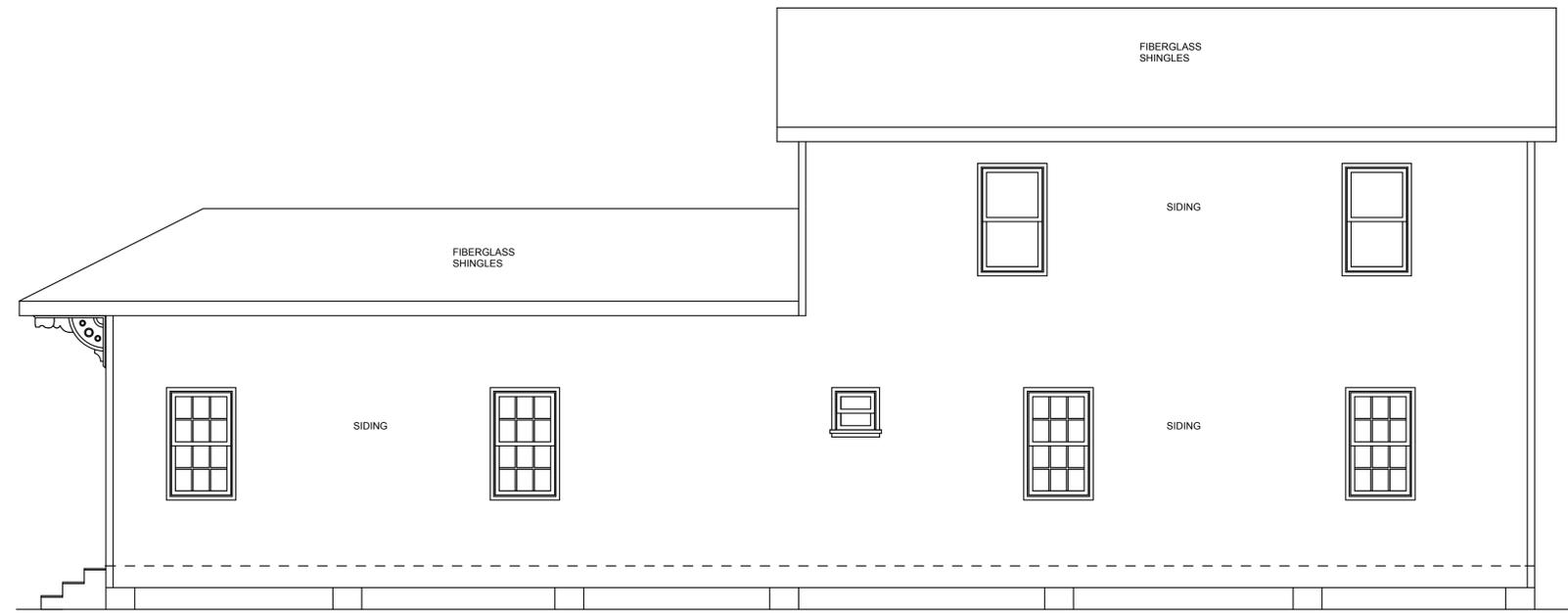
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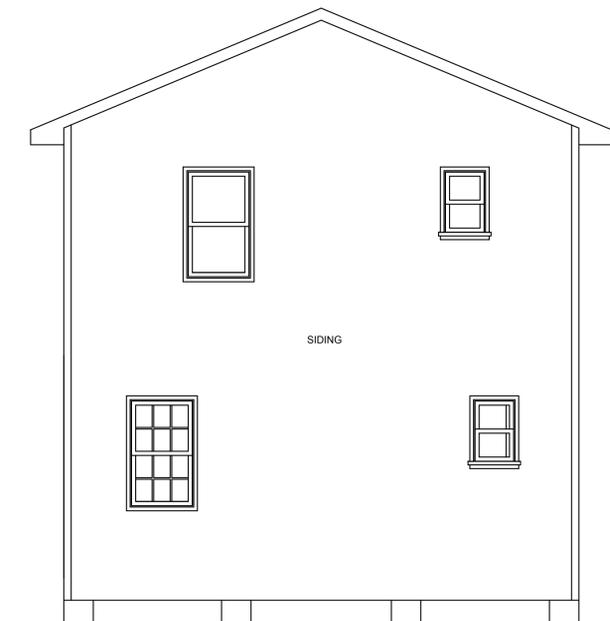
FRONT ELEVATION: 1/4"=1'-0"



RIGHT SIDE ELEVATION: 1/4"=1'-0"



LEFT SIDE ELEVATION: 1/4"=1'-0"



REAR ELEVATION: 1/4"=1'-0"

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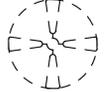
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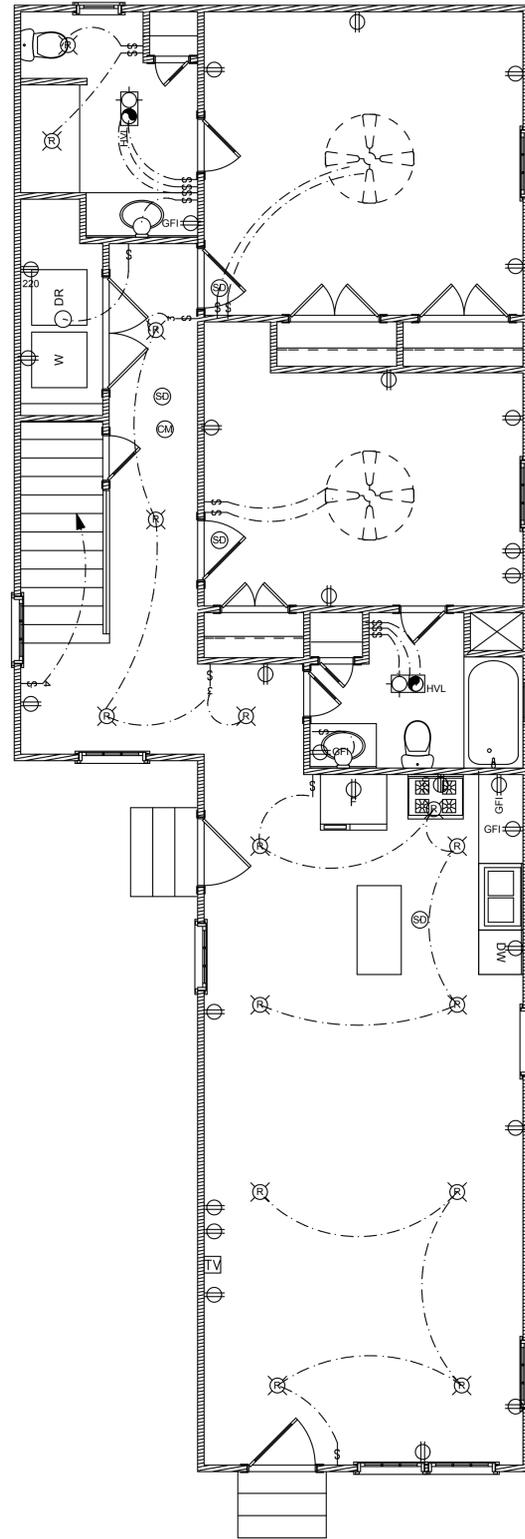
NOLA I RISE LLC.		INT./ DATE:
3046 DUMAINE STREET N.O. 70119		KTC:04/29/15
LOTS 8 & 9, SQ. 414, DUMAINE, N.O., ORLEANS PARISH, LA.		
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ELECTRICAL NOTES:

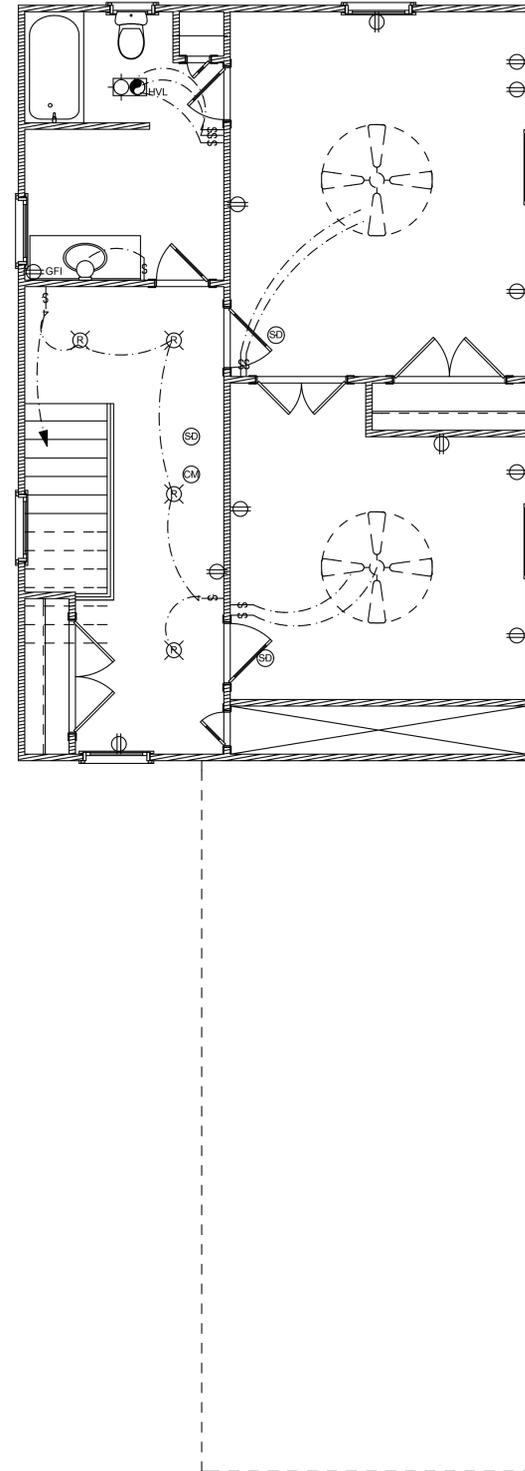
1. ALL ELECTRICAL WORK MUST COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. U.L. APPROVED SMOKE DETECTORS MUST BE INSTALLED, AND MUST BE WIRED TO A 110 V CIRCUIT. SMOKE DETECTORS MUST ALSO HAVE BATTERY BACKUP. CEILING MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 6" FROM THE WALL. WALL MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 9" OR MORE THAN 12" FROM THE CEILING, IN ACCORDANCE WITH R 314, IRC 2012.
3. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENTLY TO EXCHANGE THE VOLUME OF AIR EQUAL TO FIVE CYCLES PER HOUR.
4. A LIGHT ON A 110 VOLT CIRCUIT AND A CONVENIENCE OUTLET ON A 110 VOLT GFI CIRCUIT MUST BE INSTALLED IN THE ATTIC(S) NEAR MECHANICAL EQUIPMENT.
5. THE HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL HVAC EQUIPMENT AND DUCTWORK. THE HVAC WORK MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
6. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.

ELECTRICAL LEGEND

-  CEILING FAN W/ LIGHT
-  WALL MOUNT LIGHT
-  CEILING FIXTURE LIGHT
-  RECESSED LIGHT
-  PUCK LIGHT
-  PENDANT LIGHT
-  WALL SCONCE
-  FLOOD LIGHTS
-  HEAT, VENT, LIGHT
-  VENT, LIGHT
-  GAS SYMBOL
-  220 VOLT RECEPT.
-  WATER PROOF RECEPTACLE
-  GROUND FAULT RECEPTACLE
-  RECEPTACLE
-  FLOOR RECEPT.
-  POWER FOR GARAGE DOOR OPENER
-  SWITCH
-  SWITCH-3-WAY
-  SWITCH-4-WAY
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  CABLE TV OUTLET
-  PHONE OUTLET
-  RECESSED UNDER COUNTER LIGHTS
-  FLUOR. LIGHT
-  JUNCTION BOX



FIRST FLOOR ELECTRICAL PLAN: 1/4"=1'-0"



SECOND FLOOR ELECTRICAL PLAN: 1/4"=1'-0"

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All information contained here in
shall be confirmed prior to
commencement of construction.

NOLA I RISE LLC.		<small>INT./ DATE:</small>
3046 DUMAINE STREET N.O. 70119		<small>KTC:04/29/15</small>
LOTS 8 & 9, SQ. 414, DUMAINE, N.O., ORLEANS PARISH, LA.		
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ELEVATION CERTIFICATE

IMPORTANT: Follow the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name None		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3046 DUMAINE STREET		Company NAIC Number:
City NEW ORLEANS	State LA	ZIP Code 70119
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) District SECOND Lot 8,9 Square 414		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential		
A5. Latitude/Longitude: Lat. 29.974827 Long. -90.085921		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number 5		
A8. For a building with a crawspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawspace or enclosure(s) N/A sq ft		a) Square footage of attached garage N/A sq ft
b) Number of permanent flood openings in the crawspace or enclosure(s) within 1.0 foot above adjacent grade N/A		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade N/A
c) Total net area of flood openings in A8.b N/A sq in		c) Total net area of flood openings in A9.b N/A sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number CITY OF NEW ORLEANS 225203		B2. County Name ORLEANS		B3. State LA	
B4. Map/Panel Number 0095	B5. Suffix E	B6. FIRM Index Date 3/1/1984	B7. FIRM Panel Effective/ Revised Date 3/1/1984	B8. Flood Zone(s) A-3	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 1.50
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ / _____ / _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: ALCO Vertical Datum: NAVD '88

Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

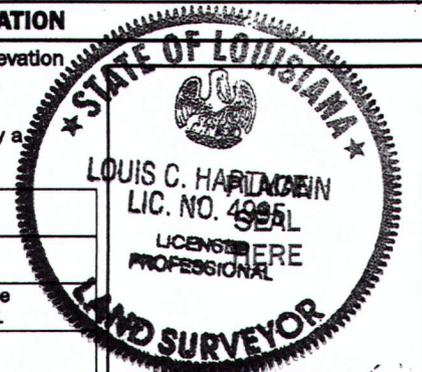
a) Top of bottom floor (including basement, crawspace, or enclosure floor)	2.55	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	12.55	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	0.90	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	0.28	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	0.61	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	0.53	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No
 Check here if attachments.

Certifier's Name Louis C. Hartmann	License Number 4995		
Title Professional Land Surveyor	Company Name Gilbert, Kelly & Couturié, Inc.		
Address 2121 N. Causeway Blvd., Suite 121	City Metairie	State LA	ZIP Code 70001
Signature 	Date 5/1/2015	Telephone (504) 836-2121	



ELEVATION CERTIFICATE, page 2

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3046 DUMAINE STREET			Policy Number:	
City NEW ORLEANS	State LA	ZIP Code 70119	Company NAIC Number:	

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments
SECTION C2E IS A/C COMPRESSOR, THE TOP OF THE CURB IS -1.12 NAVD., TO CONVERT TO NGVD ADJUST UP .20 (NOT APPLIED)

Signature  Date
5/1/2015

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement		
G8. Elevation of as-built lowest floor (including basement) of the building: _____ . _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____
G9. BFE or (in Zone AO) depth of flooding at the building site: _____ . _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____
G10. Community's design flood elevation: _____ . _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

Check here if attachments.

See Instructions for Item A6.

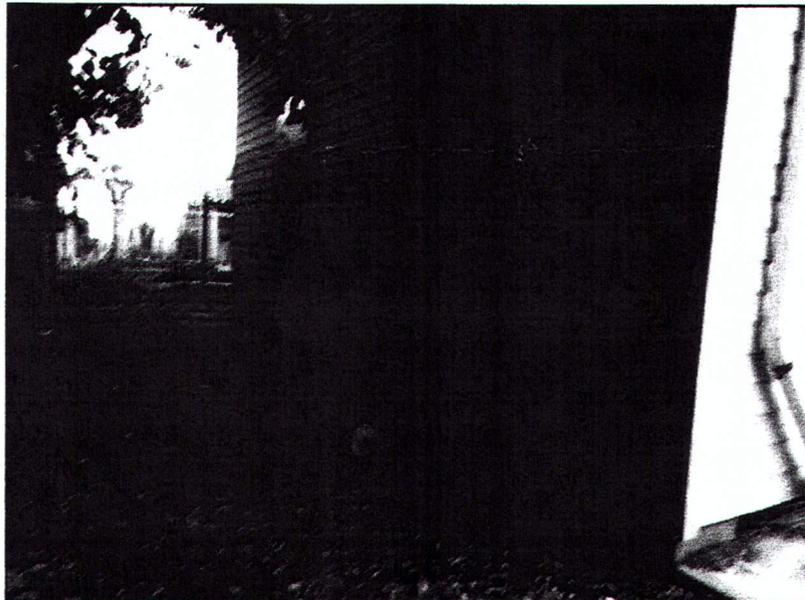
IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3046 DUMAINE STREET			Policy Number:
City NEW ORLEANS	State LA	ZIP Code 70119	Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Front View 5/1/2015



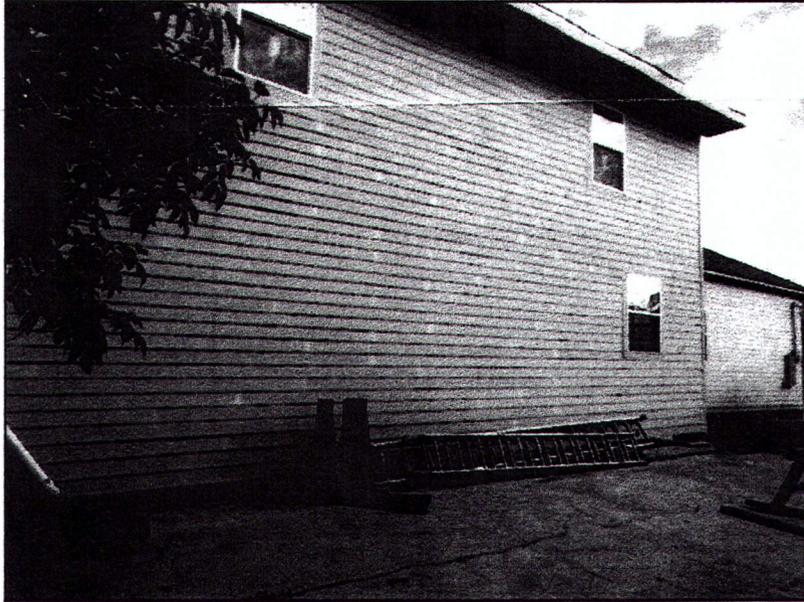
Rear View 5/1/2015



IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3046 DUMAINE STREET	Policy Number:
City NEW ORLEANS	Company NAIC Number:
State LA	
ZIP Code 70119	

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Left View 5/1/2015



NOLA I RISE, LLC
3046 DUMAINE STREET
NEW ORLEANS, LA 70119

Project NPP Report

Date of Report: May 7, 2015

Project Name: Bed and Breakfast Family Home

Overview: This report provides results of the implementation of the Project Neighborhood Participation Program for property located at 3046 Dumaine Street between N. Lopez St and N. Salcedo St. The applicant intends to file a conditional use application to rezone the property from RD-3 to ___ to permit a Bed and Breakfast Family Home. This report provides a summary of contacts with citizens, neighbors, public agencies, and interested parties. Opportunities have been provided to learn about and comment on the proposed plans and actions. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:

Linda Faye Green
3046 Dumaine Street
New Orleans, LA 70119
504-292-2276
Email: lfgreen53@yahoo.com

Neighborhood Meetings: A community meeting was held on May 5, 2015 at 315 N. Broad Street 6:00-7:00pm. 2 persons in attendance

Correspondence and Telephone Calls:

1. April 27, 2015-letters mailed to contact list, including homes, apartments, neighborhood associations, churches and schools.

Results:

There were 138 residents/addresses invited to the community meeting. See summary below.

Summary of concerns, issues and problems

- 1) Noise control as it relates to tourists coming home intoxicated.

How concerns, issues and problems will be addressed

- a) The owner of the property agreed to install a privacy fence of 8 feet to mitigate any noise by its patrons.
- b) The patrons would use the front entrance as opposed the side as planned to reduce noise between the two properties.
- c) The owner also explained that she would include in the rental contract a noise prevention clause that specifies violations and remedial actions to be taken.
- d) Additionally, the owner informed the neighbors that she would reside at the property and would be present at all times when patrons are occupying the rentals.

NOLA I RISE, LLC
3046 DUMAINE STREET
COMMUNITY MEETING
MAY 5, 2015

NAME

ADDRESS

Sarah Stogner

3042 Dumaine St.

Jeremy Adkins

3042 Dumaine St.

Address Label	Owner	OwnerAddress
928 N Lopez St	Susan R Laporte	4626 Croftway Court, New Orleans, LA 70122-5659
3057 Dumaine St	Frank Guastella	878 Filmore Ave New Orleans, LA 70124- 0
3109 Dumaine St	3109 Dumaine, LLC	5901 Chamberlain Dr. New Orleans, LA 70122
918 N Salcedo St	Laila Bondi-Marschner	918 N Salcedo St, New Orleans, LA 70119
3024 Dumaine St	Sylvester Despanza	3026 Dumaine St New Orleans, LA 70119
3062 Dumaine St	Yolanda T Banks	3062 Dumaine St New Orleans, LA 70119
3063 Dumaine St	Jamie Buth	904 N Lopez New Orleans, LA 70119
824 N Salcedo St	Landmarkpartnership Loyola	C/O Soniat Realty Inc 3940 Canal St, New Orleans, LA 70119
923 N Salcedo St	A Singleton Trust Esmeralda	C/O Raymond Lewis 3656 Metropolitan St New Orleans, LA 70126
3023 St Ann St	Neil A Metoyer	855 Oak Ave Harahan, LA 70123
3053 St Ann St	Claude W Jr Baudot	5501 Craig Ave Kenner, LA 70065
3058 St Ann St	Ronald Williams	3058 St Ann St New Orleans, LA 70119
823 N Lopez St	Ernest Rome	823 N Lopez St New Orleans, LA 70119
3121 Dumaine St	Lane Carson & Associates LLC	321 N Vermont St Covington, LA 70433
924 N Salcedo St	Lance M Ellis	926 N Salcedo St Lower Apt, New Orleans, LA 70119
916 N Lopez St	Anna Belle Mingo	Et Al 916 N Lopez St, New Orleans, LA 70119
913 N Lopez St	Lona T Manego	913 N Lopez St, New Orleans, LA 70119
3019 Dumaine St	Bryce M Scholl	3019 Dumaine St New Orleans, LA 70119
920 N Salcedo St	Shawn Anglim	Etal 922 N Salcedo St, New Orleans, LA 70119
3019 St Ann St	Patricia Jasmine	3019 St Ann St New Orleans, LA 70119
3042 St Philip St	Donald L Cardwell	3042 St Philip St New Orleans, LA 70119
819 N Lopez St	Karl J Kirchberg	13344 Chef Menteur Hwy, New Orleans, LA 70129
3053 Orleans Ave	Lynn L Reimonenq	2231 N Broad St New Orleans, LA 70119
3115 Dumaine St	Frank C Mayes	3115 Dumaine St New Orleans, LA 70119
3038 St Ann St	Loretta F Mathieu	3040 St Ann St New Orleans, LA 70119- 0
3056 St Ann St	Dianne M Julien	11254 Midpoint Dr New Orleans, LA 70128

3104 Dumaine St	Henry, Jr Mccoys	3104 Dumaine St New Orleans, LA 70119
3127 Dumaine St	Charlotte A Ford	3127 Dumaine St New Orleans, LA 70119-0701
817 N Gayoso St	George W Wilson	817 N Gayoso St, New Orleans, LA 70119- 701
3012 Dumaine St	Propertiesllc Vamevi	6330 Paris Ave New Orleans, LA 70122
3032 Dumaine St	Dorothy M Nicholas	3034 Dumaine St New Orleans, LA 70119
3120 Dumaine St	Edward L Wright	3120 Dumaine St New Orleans, LA 70119-7011
3049 St Ann St	Anthony Chaney	Et Al 3049 St Ann St New Orleans, LA 70119
931 N Salcedo St	Natalie M Persons	931 N Salcedo St, New Orleans, LA 70119
3042 St Ann St	Jeffrey M Densen	3042 St Ann St New Orleans, LA 70119
3108 Dumaine St	Warren Recasner	4047 Franklin Ave New Orleans, LA 70122
3124 Dumaine St	Kate Foster	3124 Dumaine St New Orleans, LA 70119
937 N Salcedo St	Quirin Jr Hestein	1909 Almonaster Ave, New Orleans, LA 70117
3043 St Ann St	Kenneth A Wyble	Et Al 3043 St Ann St New Orleans, LA 70119
932 N Lopez St	Mark J Burton	932 N Lopez St, New Orleans, LA 70119
3050 St Ann St	Lance Sr Ellis	924 1/2 N Salcedo St New Orleans, LA 70119
3059 St Ann St	Douglas O Crowell	3059 St Ann St New Orleans, LA 70119
828 N Salcedo St	Willie J Galman	Et Al 828 N Salcedo St New Orleans, LA 70119
915 N Salcedo St	Carthy Kerry T Mc	Et Al 915 N Salcedo St New Orleans, LA 70119
3015 Dumaine St	Joseph Jr Collins	6335 N Tonti St New Orleans, LA 70117
3132 Dumaine St	Orlean H Richardson	Et Al 3132 Dumaine St New Orleans, LA 70119
3002 Dumaine St	Julie K Skjolaas	3008 Ursulines Ave New Orleans, LA 70119
3004 Dumaine St	Anthony J Haywood	3006 Dumaine St New Orleans, LA 70119
3028 Dumaine St	Propertiesllc Vamevi	6330 Paris Ave New Orleans, LA 70122
922 N Lopez St	Stacey C Daigle	922 N Lopez St, New Orleans, LA 70119
818 N Lopez St	Seds Holdings LLC	4506 Avebury Dr, Plano, TX 75024
822 N Lopez St	Walter A Jr Severin	822 N Lopez St, New Orleans, LA 70119-7011

3018 Dumaine St	Tanya E Thomas	C/O Shael Nathan Wolfson 1223 Pleasant St New Orleans, LA 70115
820 N Salcedo St	Joshua A Colclough	820 N Salcedo St, New Orleans, LA 70119
3037 St Ann St	Kenneth Butler	3037 St Ann St New Orleans, LA 70119
924 N Lopez St	Mark J Mckeown	924 N Lopez St, New Orleans, LA 70119
823 N Gayoso St	Laura E Grannen	3231 St Philip St New Orleans, LA 70119
914 N Lopez St	William Smith	2716 Comet St, New Orleans, LA 70131-5106
919 N Lopez St	Wayne E Garrison	919 N. Lopez Street, New Orleans, LA 70119-1430
825 N Salcedo St	Alexander J Jr Dupuy	4708 Rebecca Blvd, Kenner, LA 70065
829 N Salcedo St	Margaret Hadleigh-West	1001 N Salcedo St New Orleans, LA 70119
3041 Dumaine St	Margaret B Camin	Etal 3041 Dumaine St New Orleans, LA 70119
3112 Dumaine St	Neil A Metoyer	855 Oak Ave Harahan, LA 70123
816 N Salcedo St	A C Bartholomew	816 N Salcedo St, New Orleans, LA 70119-7011
3046 St Philip St	Evelyn R Mitchell	3046 St Philip St New Orleans, LA 70119
3107 Dumaine St	Jerome Bettinelli	3107 Dumaine St New Orleans, LA 70119
3101 Dumaine St	Carey A Jones	C/O Tlc Nola, LLC 8601 Leake Ave New Orleans, LA 70118
3046 Dumaine St	Alton Green	3046 Dumaine St New Orleans, LA 70119
3119 Dumaine St	Paul C Parker	47 Oaklawn Dr Covington, LA 70433
3008 Dumaine St	Medrick C Luckett	3008 Dumaine St New Orleans, LA 70119
3031 Dumaine St	3031 Dumaine Street LLC	3925 Iberville St New Orleans, LA 70119
3048 Dumaine St	Felton H Banks	3058 Dumaine St New Orleans, LA 70119
3058 Dumaine St	Felton Banks	3058 Dumaine St New Orleans, LA 70119
3100 Dumaine St	Arnold R Thornton	3102 Dumaine St New Orleans, LA 70119
3128 Dumaine St	Abram S Himelstein	3128 Dumaine St New Orleans, LA 70119
3027 St Ann St	Casserly A Wyble	3027 St Ann St New Orleans, LA 70119
3063 St Ann St	Archie Q Walker	3063 St Ann St New Orleans, LA 70119- 701
925 N Salcedo St	Sarah G Callahan	925 N Salcedo St, New Orleans, LA 70119

3037 Dumaine St	Charles A Taylor	916 Kentucky St New Orleans, LA 70117
3053 Dumaine St	Allen A Santee	Et Als 3055 Dumaine St New Orleans, LA 70119
827 N Lopez St	Gabriel J IV Mouledoux	829 N Lopez St New Orleans, LA 70119
828 N Lopez St	Medrick Jupiter	828 N Lopez St, New Orleans, LA 70119
814 N Lopez St	Daphne Hargett	814 N Lopez St, New Orleans, LA 70119
3045 Dumaine St	Frank Guastella	878 Filmore Ave New Orleans, LA 70124- 0
3116 Dumaine St	Leslie P Ellis	3116 Dumainest New Orleans, LA 70119
3020 Dumaine St	Brenda M Brown	3020 Dumaine New Orleans, LA 70119-7011
3023 Dumaine St	3023 Dumaine LLC	813 N Broad St New Orleans, LA 70119
3062 St Ann St	Emile J 3 Tiblier	3062 St Ann St New Orleans, LA 70119
819 N Gayoso St	Shontay D Taylor	11175 Winchester Park Dr, New Orleans, LA 70128
815 N Salcedo St	Adrienne E Shulman	815 N Salcedo St, New Orleans, LA 70119
823 N Salcedo St	Roberto, Jr Villalobos	823 N Salcedo St New Orleans, LA 70119
3051 Dumaine St	Lawrence Williams	3051 Dumaine St New Orleans, LA 70119
933 N Salcedo St	Frank Reese	933 N Salcedo, New Orleans, LA 70119
3042 Dumaine St	Jeremy P Adkins	3042 Dumaine St New Orleans, LA 70119
3048 St Ann St	Marc A Labadie	2475 Nw Savier Portland, OR 97210
3031 St Ann St	Mary R Thibodeaux	3031 St. Ann Street New Orleans, LA 70126
3035 St Ann St	Charles E Bussey	3940 Canal St New Orleans, LA 70119

CPCinfo

From: Steve Mardon <stevemardon@yahoo.com>
Sent: Monday, July 20, 2015 4:29 PM
To: CPCinfo
Subject: ZONING DOCKET 063/15

Regarding this matter:

ZONING DOCKET 063/15 – Request by ALTON GREEN for a Conditional Use to permit a bed and breakfast accommodation in an RD-3 Two-Family Residential District, on Square 414, Lots 8, and 9, in the Second Municipal District, bounded by Dumaine, North Salcedo, Saint Ann and North Lopez Streets. The municipal address is 3046 DUMAINE STREET. (PD 4)

At our July meeting, the Faubourg St. John Neighborhood Association heard a presentation from the prospective proprietor, Linda Green, who also responded to questions about her plans from a number of attendees. Afterward, board members discussed the request and decided that we would not take a position. We are encouraging residents who support or oppose the request to contact you individually and/or attend the hearing.

Please let me know if you have any questions.

Thank you,
Steve Mardon
President, FSJNA
486-8125

CPCinfo

From: Sarah E. Stogner <stogner@carverdarden.com>
Sent: Monday, July 20, 2015 2:37 PM
To: CPCinfo; Robert D. Rivers
Cc: jeremypauladkins@gmail.com
Subject: 3046 Dumaine - CPC docket 7/28/15
Attachments: 3046dumaapp_001.pdf; photo.jpg; RE [FaubourgStJohn] Unpermitted Construction; 3046 dumaine application; RE [FaubourgStJohn] Unpermitted Construction; Re RE Request; NOLA 311 case 101000112082

Importance: High

Mr. Rivers:

I write to express my concerns with the conditional use permit requested for 3046 Dumaine. Please ensure this documentation is included in the information considered by the CPC for next week's meeting.

I live with my husband and 7 month old daughter directly next door at 3042 Dumaine Street. We have lived there for three years. During those three years, we have endured ongoing blight and then more recently, unpermitted construction. I have serious concerns with Ms. Green's ability to responsibly run an owner-occupied B&B.

Attached is correspondence I have sent in the past regarding this problematic property. Note that significant demolition and construction was started before Ms. Green ever applied for a construction permit. It's my understanding there was never a permit to change the roofline, yet the camelback was extended and square footage was added to the property.

As a further example of Ms. Green's disregard for applicable rules and regulations, according to the public records there is a homestead exemption claimed on this property; however, it has been vacant since we moved next door the summer of 2012. Ms. Green is not currently the owner of record; however, it's my understanding she is the daughter of the owner who died several years ago. Ms. Green fails to timely pay the property taxes that are assessed. A current search of the tax assessor's website shows past due taxes, and tax sale costs at \$3,129.63 as of this e-mail. This is a chronic problem – the taxes are delinquent every year.

In addition to these historical problems, I have serious concern with how the proposed B&B will be managed. We live in a historic home with original windows. When you are in the master bedroom, kitchen, and living room you can hear people having a normal conversation at the subject property. Our block is quiet – a nice mix of families, young couples, and elderly residents who have owned their homes for decades. We moved into a residential neighborhood. I never would have bought our home if I knew I could be living next to a B&B where tourists are coming back at all hours of the night.

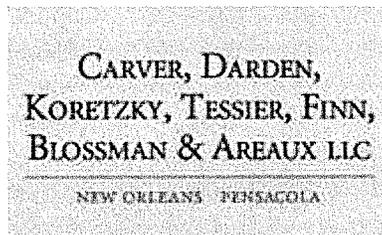
I am also skeptical that Ms. Green will actually be living at the property if her "bed and breakfast" is approved. During the NPP meeting Ms. Green first stated that she would be living upstairs and the guests would be down stairs. Then she said that she would be living downstairs and the guests would be staying upstairs with their own side entrance. When we expressed our concerns she said the guests could use her front door. However, a review of the submitted floor plan shows the front door will lead guests directly through her living room and kitchen. At this point it's not clear where the guests will enter and exit the home, or where they will be staying. She also stated that she is single and travels a lot, so when she is traveling, one of her daughters will be "checking up on the place and the guests." Ms. Green's inability to provide specific plans on where she will be living and how she will be managing this endeavor is disconcerting.

Although we are glad the property is finally being renovated, we are concerned the renovations were not properly executed. They were not properly permitted. And there have been several different general contractors over the past three years. I have had conversations with six different companies that said they were not going to perform any more work because Ms. Green refused to pay the bills. Additionally, the house sat for over six months with exposed plywood and no siding. The current Hardy board was put on top of mildewed plywood that was exposed to the elements during that time. Because the proper permits were not pulled, there has not been an inspection for the new plumbing and electrical installed. The property may not be safe for occupancy.

In conclusion, I request the CPC deny the request to permit a B&B at 3046 Dumaine. The historic problems evidence Ms. Green's inability to responsibly manage the property and taxes. However, if Ms. Green is granted a conditional use permit, I request the CPC make that permit conditional on the installation of an 8 foot tall wooden privacy fence to help shield the noise and light that will inevitably occur, and to install exterior security cameras to help deter these expected problems.

Thank you for your attention,

Sarah Stogner



Sarah E. Stogner

Attorney

Carver, Darden, Koretzky, Tessier, Finn, Blossman & Areaux, LLC

Energy Centre - 1100 Poydras Street - Suite 3100

New Orleans, Louisiana 70163

Telephone: (504) 585-3845 Cell: (504) 214-0140 Fax: (504) 585-3801

stogner@carverdarden.com - www.carverdarden.com

Connect with me on LinkedIn:
www.linkedin.com/in/sarahstogner/

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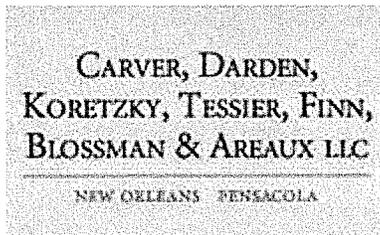
CPCinfo

From: Sarah E. Stogner <stogner@carverdarden.com>
Sent: Friday, January 10, 2014 1:09 PM
To: Jared E. Munster
Cc: Edward J. Horan; John Odom
Subject: RE: [FaubourgStJohn] Unpermitted Construction
Attachments: 3046dumaapp_001.pdf; 2013-04-25_14-35-39_468.jpg; 2013-04-25_14-37-03_282.jpg; photo.JPG

Jared-

I wanted to follow-up on this property. Attached is a recent picture of the work they've done (after failing to do any work for the past six months) as well as the April 2013 pictures from last year's email. As you can see, they have extended the camel back, and according to the permit application that I downloaded from onestop (and have attached to this email), they say nothing about changing the roof line.

This continues to be a problem. Please let me know what we can do to challenge her permit and work. Who has jurisdiction? Is there something I can do to appeal since she goes months at a time without doing any work on the property? Any help and guidance would be much appreciated.



Sarah E. Stogner
Attorney
Carver, Darden, Koretzky, Tessier, Finn, Blossman & Areaux, LLC
Energy Centre - 1100 Poydras Street - Suite 3100
New Orleans, Louisiana 70163
Telephone: (504) 585-3845 Cell: (504) 214-0140 Fax: (504) 585-3801
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From: greg jeanfreau [mailto:greg_jeanfreau@yahoo.com]
Sent: Saturday, April 27, 2013 8:53 AM
To: Sarah E. Stogner; Jared E. Munster
Cc: Edward J. Horan; John Odom
Subject: RE: [FaubourgStJohn] Unpermitted Construction

Thanks Jared. Also, here's a couple of shots of the house in "progress"...

--- On Fri, 4/26/13, Jared E. Munster <jemunster@nola.gov> wrote:

From: Jared E. Munster <jemunster@nola.gov>
Subject: RE: [FaubourgStJohn] Unpermitted Construction
To: "greg jeanfreau" <greg_jeanfreau@yahoo.com>, "Sarah E. Stogner" <stogner@carverdarden.com>
Cc: "Edward J. Horan" <ejhoran@nola.gov>, "John Odom" <jodom@nola.gov>
Date: Friday, April 26, 2013, 3:12 PM

Johnny, please send an inspector to this location. There is no permit on file for any work to be taking place.

Jared E. Munster, Ph.D., AICP

Director

Department of Safety and Permits

From: greg jeanfreau [mailto:greg_jeanfreau@yahoo.com]
Sent: Thursday, April 25, 2013 12:41 PM
To: Sarah E. Stogner
Cc: Jared E. Munster; Edward J. Horan
Subject: RE: [FaubourgStJohn] Unpermitted Construction

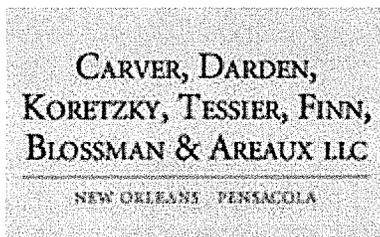
Sarah,

I looked up the property to see if there are any permits and did not find any. I also looked up 3044 and 4048 just for good measure and the address is 3046 Dumaine. I have Copied Ed Horan with Safety and Permits and Jared Munster with Code Enforcement. I would also recommend call 311

--- On Thu, 4/25/13, Sarah E. Stogner <stogner@carverdarden.com> wrote:

From: Sarah E. Stogner <stogner@carverdarden.com>
Subject: RE: [FaubourgStJohn] Unpermitted Construction
To: "greg jeanfreau" <greg_jeanfreau@yahoo.com>
Date: Thursday, April 25, 2013, 11:53 AM

3046? Dumaine – we are 3042, and it's directly next door towards bayou – corner of Salcedo and Dumaine. Thanks so much! My husband has construction background and says they're not properly tying in the studs.



Sarah E. Stogner

Attorney

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Energy Centre - 1100 Poydras Street - Suite 3100

New Orleans, Louisiana 70163

Telephone: (504) 585-3845 Cell: (225) 281-1905 Fax: (504) 585-3801

stogner@carverdarden.com - www.carverdarden.com

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From: greg jeanfreau [mailto:greg_jeanfreau@yahoo.com]

Sent: Thursday, April 25, 2013 11:37 AM

To: Sarah E. Stogner

Subject: Re: [FaubourgStJohn] Unpermitted Construction

Which house is it? Is it the camelback that goes through Ponce to Maurepas or the one on Grand Route that goes through to Ponce? Address? Let me know and I'll check into it.

--- On Thu, 4/25/13, sarah70119 <stogner@carverdarden.com> wrote:

From: sarah70119 <stogner@carverdarden.com>

Subject: [FaubourgStJohn] Unpermitted Construction

To: FaubourgStJohn@yahoogroups.com

Date: Thursday, April 25, 2013, 8:56 AM

Does anyone have a "cheat sheet" of who to contact with City and historic commission to check on whether someone has pulled permits for construction? My neighbors are gutting the house next door to us, but I haven't seen any permits, and they are adding a second story, which I assume needs approval from historic commission. Any suggestions on helpful contacts people have used in the past would be greatly appreciated.

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▪

CPCInfo

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Department of Safety and Permits

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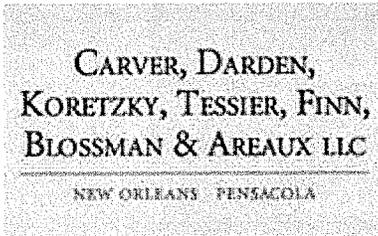
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Date: Thursday, April 25, 2013, 11:53 AM

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Sarah E. Stogner
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From: greg jeanfreau [mailto:greg_jeanfreau@yahoo.com]
Sent: Thursday, April 25, 2013 11:37 AM
To: Sarah E. Stogner
Subject: Re: [FaubourgStJohn] Unpermitted Construction

Which house is it? Is it the camelback that goes through Ponce to Maurepas or the one on Grand Route that goes through to Ponce? Address? Let me know and I'll check into it.

--- On **Thu, 4/25/13, sarah70119** <stogner@carverdarden.com> wrote:

From: sarah70119 <stogner@carverdarden.com>
Subject: [FaubourgStJohn] Unpermitted Construction
To: FaubourgStJohn@yahoogroups.com
Date: Thursday, April 25, 2013, 8:56 AM

Does anyone have a "cheat sheet" of who to contact with City and historic commission to check on whether someone has pulled permits for construction? My neighbors are gutting the house next door to us, but I haven't seen any permits, and they are adding a second story, which I assume needs approval from historic commission. Any suggestions on helpful contacts people have used in the past would be greatly appreciated.

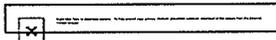
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CPCinfo

From: 311@nola.gov
Sent: Tuesday, March 05, 2013 3:06 PM
To: Sarah E. Stogner
Subject: Re: RE: Request

Hi Sarah,

I'm not sure why your address of 3042 is showing up in BlightStatus. However, 3046 Dumaine is in BlightStatus as of 3/1/13. The case file is 13-01012-PNBL. There is an inspection that is still pending for this property as well.

----- Original Message -----

From: stogner@carverdarden.com
Sent: 2013-02-27 16:44:00.0
To: 311@nola.gov
Subject: RE: Request

The abandoned car has finally been moved! Yes, I reported that back in November as being left outside my house. I am confused as to why 3042 showing up on the blight status (that is my address) as opposed to 3044/46, which is the address next door that I am concerned about. I have email alerts set up, however, there is no active report for 3044/3046 for me to sign up for. Does that make sense? Thanks, and feel free to call me if you need any additional info.

Sarah E. Stogner
Attorney
Carver, Darden, Koretzky, Tessier, Finn, Blossman & Areaux, LLC Energy Centre - 1100 Poydras Street - Suite 3100 New Orleans, Louisiana 70163
Telephone: (504) 585-3845 Cell: (225) 281-1905 Fax: (504) 585-3801 stogner@carverdarden.com - www.carverdarden.com

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-----Original Message-----

From: 311@nola.gov [<mailto:311@nola.gov>]
Sent: Wednesday, February 27, 2013 4:40 PM
To: Sarah E. Stogner

Subject: RE: Request

Ms. Stogner,

What is going on with the abandoned car? Did you report this car back in November when you reported the house at 3042 Dumaine? If not please call 3-1-1 with the particulars about the abandoned vehicle.

You can also visit www.blightstatus.nola.gov to view the status of the property at 3042 Dumaine. You can also sign up to get an email alert whenever there is a status change on this property.

NOLA 3-1-1

CPCinfo

From: 311@nola.gov
Sent: Friday, March 01, 2013 2:18 PM
To: Sarah E. Stogner
Subject: NOLA 311 case 101000112082

Dear Constituent:

Thank you for contacting NOLA 311; this email is in response to service request # 101000112082, regarding the property located at 3046 DUMAINE ST.

Our Code Enforcement department has received your service request, and has provided us with the following information:

Inspection pending

If you have any questions about the case, please contact NOLA 311 by dialing 311 or (504) 658-2299, or by replying to this email. We are available M-F 8am-5pm to answer any questions or handle any City service issues you may have.

Sincerely,

NOLA 311

APPLICATION

Address of Property: 3046 Dumaine St 70119

Owner's Name: Alton Green 70119 email: LFgreen53@yahoo.com

Owner's Address: _____
(Street) (City/State) (Zip) (Phone #)
504-495-6684

Applicant (If different from owner): Linda Magee email: _____

Applicant's Address: ~~786 Leg~~ 3046 Dumaine St 70119
(Street) (City/State) (Zip) (Phone #)

Detailed description of all proposed exterior work. Please keep in mind that the HDLC regulates everything from roofing color to repairing weatherboards, so please be specific and include everything you can think of. (drawings and specifications are required for all major work in which the work cannot be clearly and specifically described in writing):

replace rotten ^{wall studs} ~~boards~~ from termite damages and replace siding

A. Applications for new construction, additions, or major alterations must be reviewed by the Architectural Review Committee (ARC) prior to the initial public hearing. Completed applications for these types of projects must be submitted and approved 7 days before the date of the meeting (see reverse). HDLC requires the submission of a site plan, floor plan, context and elevation drawings for all new construction, addition, and major alterations applications. Projects larger than 5000 square feet require submission of a model.

Public hearings will be held monthly as per the attached schedule (see reverse). Completed applications must be submitted and approved by the HDLC staff 14 days before the date of the meeting. Incomplete applications will not be accepted. Materials submitted after the deadline will not be reviewed at the public hearing and may cause the matter to be rescheduled for the following month.

I, the undersigned assure that the information contained in this application and supplementary materials is true and complete to the best of my knowledge. **Signing of this document constitutes notice of the public hearing.** You and /or a representative are encouraged to attend the hearing to explain your request. The Commission will take action on this application in your absence.

Signature of Applicant: Linda Magee Date: 4/30/13





City of
(504) 240-6880

SEP 928

